



**Sample Rendering**

This rendering shows an example of what may be achieved with this document. Exterior materials shown here are vertical ship-lap MFC siding, horizontal corrugated metal panel, and standing seam metal roof.

**GUNNISON COUNTY HOME PLAN | 2-STORY TOWNHOUSE**

**HOW TO USE THESE PLANS**

This document is for your use, as a Gunnison County Resident, to build a small, code compliant and energy efficient electric home. While these plans provide guidance and specification on many issues, they are intended to be modified by the homeowner. While all aspects of the plans can be modified, any structural modifications will require review and a stamp by a 3rd party Architect or Structural Engineer licensed in Colorado. Many other items require your input. These areas are shown in Orange. While the Orange text indicates Owner action items, it is important to read and familiarize yourself with the entire drawing set.

Before submitting to the building department, it is important that you complete the following:

- + Determine local wildfire hazard. This plan set is designed to meet IR Class 2 requirements and may require modification to meet IR Class 1 requirements. See Gunnison County's Amendments to the IWUIC (2021), the "Community Planning Assistance for Wildfire Final Recommendations for Gunnison, CO 2019" report, and IWUIC (2021) Chapter 5.
- + Obtain a Location Improvement Certificate or Survey from a Surveyor showing the property lines of your property
- + Obtain a Geotechnical Report to test the soils of your site for Structural Capacity and Groundwater
- + Obtain a foundation design from a structural engineer or a geotechnical engineer based on your geotechnical report
- + Obtain a grading plan from a Civil Engineer if required by the jurisdiction
- + Identify which utilities serve your site. This project will require Electricity, Water and Sewer. If Sewer is not available, you will need to obtain a septic system design for your project. If water is not available at your site, then you will need to obtain a well system design for your project.
- + Obtain a roof truss package for your required elevation (Snow Load).
- + Select the Exterior Materials you wish to use
- + Select the Interior Materials you wish to use
- + Select your Equipment within the parameters listed in the drawings
- + Fill out other options as shown in Orange

THE DRAWINGS ILLUSTRATE THE HOME AS A TOWNHOUSE UNIT, TO BE BUILT IN A SERIES OF ATTACHED HOMES, BUT ALSO CONTAINS THE INFORMATION NEEDED TO CONSTRUCT IT AS A SINGLE-FAMILY HOUSE. WHEN BUILT AS A TOWNHOUSE, THE WALL BETWEEN UNITS IS A 2-HOUR FIRE RATED COMMON WALL; WHEN BUILT AS A HOUSE, THE LEFT AND RIGHT END WALLS ARE CONSTRUCTED INSTEAD.

**PROJECT INFORMATION:**

OWNER NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PROJECT ADDRESS: \_\_\_\_\_

By using these construction documents, the recipient acknowledges, accepts and voluntarily affirms the following conditions:

1. These plans have been prepared for Gunnison County to offer to property owners and residents of Gunnison County. The recipient of these plans has the responsibility to verify any and all information relevant to the recipients work and responsibility in the use of these plans for construction. Gunnison County shall not be responsible for translation errors. A Gunnison County building permit shall be obtained prior to starting construction.
2. The recipient acknowledges that they will be responsible to provide foundation details based on site specific characteristics that are approved by a Professional Engineer or Architect, licensed in that State of Colorado.
3. The recipient recognizes and acknowledges that the use of this information will be at their sole risk and without any liability or legal exposure to Gunnison County. No warranties of any nature, whether express or implied, shall attach to these documents and the information contained thereon. Any use, reuse, or alteration of these documents by the recipient or by others will be at the recipient's risk and full legal responsibility. The recipient will, to the fullest extent permitted by law, defend, indemnify and hold Gunnison County harmless from any and all claims, suits, liability, demands, judgments, or costs arising out of or resulting there from any use of these construction documents for or on account of any injury, death, damage or loss to persons or property, direct or consequential damages in any amount.
4. If the recipient does not agree with the above conditions, do not proceed with use of these plans.

**NOT FOR CONSTRUCTION**





GUNNISON HOMES

2-Story Modern

PROJECT 24.0630

CONSTRUCTION DOCUMENTS 02.28.2025

NOT FOR CONSTRUCTION

GENERAL INFORMATION

INDEX OF DRAWINGS

Table with columns: SHEET, NAME, 100%, and a grid of checkboxes for drawing sheets 1-24.

ITEMS IN ORANGE

ITEMS IN ORANGE INDICATE INSTRUCTIONS TO THE OWNER, OR PLACES WHERE THE OWNER IS INTENDED TO MAKE A SELECTION...

ITEMS IN BLUE

ITEMS IN BLUE INDICATE PLACES WHERE THE OWNER'S ENGINEER IS INTENDED TO MAKE A SELECTION...

GENERAL NOTES

- 1. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND AGENCIES HAVING JURISDICTION... 2. DO NOT SCALE DRAWINGS... 3. ALL DIMENSIONS SHALL BE FIELD VERIFIED...

CODE SUMMARY

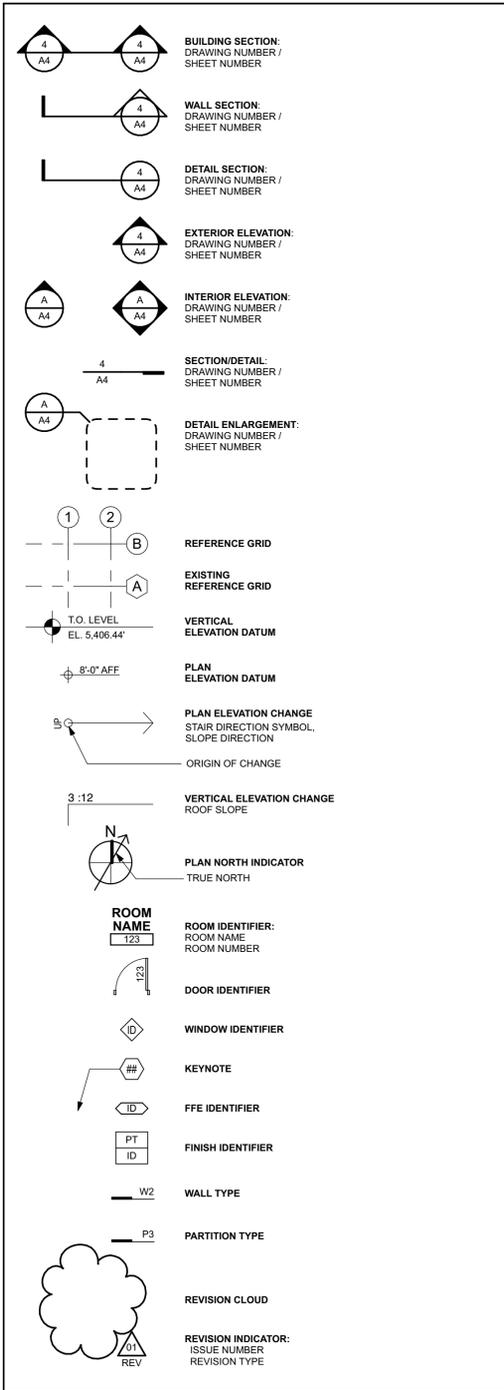
- Applicable Codes: 2021 International Residential Code (IRC), 2021 International Wildland Urban Interface Code (IWUIC) - IR2-Class 2, 2021 International Energy Conservation Code (IECC)...

Table with columns: Thermal Envelope, Required, Proposed. Lists requirements for Fenestration, Skylights, Roof, Wall, Crawl Space Wall, and Exterior Doors.

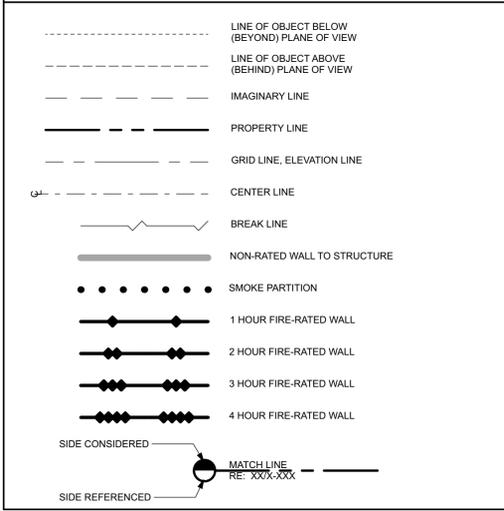
IWUIC Requirements (Wildland Fire Resistance):

This house is designed to comply with IR2 / Class 2 requirements. This assumes that you have compliant Defensible Space, conforming water supply, a site slope of less than 40%. Roof: Class A roofing. Exterior Walls: Noncombustible or ignition-resistant materials...

ARCHITECTURAL SYMBOLS



LINE SYMBOLS



MATERIAL LEGEND

Table with columns: SECTION and PLAN and ELEVATION. Lists materials like Earth, Gravel, Concrete, Brick, Stone, Cast Stone, Manufactured Stone, Wood, Metal, Eifs, Rigid Insulation, Acoustical Tile, Ceramic Tile, Carpet, Gypsum Board, Plywood, Particle Board, Glass, Metal Studs, Wood Studs, Brick Masonry, Concrete Masonry, Lap Siding, Stone Veneer, Standing Seam Metal Roofing, Stucco, Gypsum Board Plaster, Asphalt, Concrete, Carpet, Ceramic Tile, Mirror, Glass, and Landscape.

ABBREVIATIONS

Table of abbreviations for architectural drawings, including ACT (Acoustical Ceiling Tile), ACM (Aluminum Composite Material), ADA (Americans with Disabilities Act), ADAPT (Adaptable), ADJ (Adjustable), AFF (Above Finish), AFG (Above Finish Grade), AHR (Authority Having Jurisdiction), ANCH (Anchor), ALUM (Aluminum), ALT (Alternate), ANOD (Anodized), APPROX (Approximate), ARCH (Architectural), ASI (Architect's Supplemental Instruction), A/V (Audio/Video), AWB (Air and Water Barrier), AWI (Architectural Woodwork Institute), BC (Brick Color), BD (Board), BLDG (Building), BLK (Block), BLKG (Blocking), BM (Beam), BO (Bottom of), BOD (Basis of Design), BTWN (Between), CCBR (Closed Cell Backer Rod), CHPL (Custom High Pressure Laminate), CIP (Cast-in-Place), CJ (Control Joint), CLG (Ceiling), CLKG (Caulking), CL (Center Line), CLO (Closet), CLR (Clear), CMU (Concrete Masonry Unit), COL (Column), CONC (Concrete), COND (Condition), CONN (Connection), CONST (Construction), CONT (Continuous), CRT (Carpet), CROQ (Cold Rolled Commercial Quality), CT (Ceramic Tile), CVG (Clear Vertical Grain), D (Deep), DEG (Degree), DEMO (Demolition), DET (Detail), DETER (Determine), DF (Drinking Fountain), DIA (Diameter), DIAG (Diagonal), DIM (Dimension), DN (Down), DS (Down Spout), DW (Dishwasher), DWG (Drawing), DWR (Drawer), E (East), EX (Existing), EA (Each), EIFS (Exterior Insulating Finish System), EJ (Expansion Joint), EL (Elevation), ELEC (Electrical), ELEV (Elevator), EMER (Emergency), ENCL (Enclosure), EPS (Expanded Polystyrene Board), EQ (Equal), EQUIP (Equipment), EWC (Electric Water Cooler), EXP (Exposed), EXT (Exterior), F (Female), FA (Fire Alarm), FD (Floor Drain), FDC (Fire Department Connection), FDTN (Foundation), FE (Fire Extinguisher), FEC (Fire Extinguisher Cabinet), FF EL (Finish Floor Elevation), FF&E (Furniture, Fixtures and Equipment), FFF (From Finish Face), FHC (Fire Hose Cabinet), FIN (Finish), FLD (Field), FLR (Floor), FLUR (Fluorescent), FO (Finished Opening), FOS (Face of Stud), FRP (Fire Protection Rating), FRP (Fiberglass Reinforced Polyester), FRT (Fire Retardant Treated), FS (Floor Sink), FT (Foot), FTG (Footing), FUNC (Function), GA (Gauge), GALV (Galvanized), GB (Grab Bar), GC (General Contractor), GLZ (Glazing), GSM (Galvanized Sheet Metal), GYP (Gypsum), H (High), HB (Hose Bib), HC (Hollow Core), HIC (Handicap), HDW (Hardware), HDWD (Hardwood), HFP (Hour Fire Protection), HFR (Hour Fire Resistance), HM (Hollow Metal), HORIZ (Horizontal), HP (High Point), HR (Hour), HT (Height), HVAC (Heating, Ventilating and Air Conditioning), IBC (International Building Code), ID (Inside Diameter), IN (Inch), INCL (Included), INFO (Information), INSUL (Insulation), INT (Interior), IT (Information Technology), JAN (Janitor), JST (Joist), JT (Joint), KIT (Kitchen), KO (Knockout), LAB (Laboratory), LAV (Lavatory), LB (Lb), LF (Linear Feet), LL (Landlord), LP (Low Point), LT (Light), LVL (Level), M (Male), MATL (Material), MAX (Maximum), MECH (Mechanical), MED (Medium), MEZ (Mezzanine), MFC (Mineral Fiber Cement), MFD (Manufactured), MFR (Manufacturer), MH (Manhole), MIN (Minimum), MINUT (Minute), MIRR (Mirror), MIS (Miscellaneous), MISC (Miscellaneous), MO (Masonry Opening), MTD (Mounted), MTG (Mounting), MTL (Metal), N (North), N/A (Not Applicable), NIC (Not in Contract), NFPA (National Fire Protection Association), NO (No), NBR (Number), NOM (Nominal), NTS (Not to Scale), ON (On Center), OCC (Occupant), ODD (Outside Diameter), OPH (Overhead), OPH (Opposite Hand), OPNG (Opening), OPP (Opposite), PBD (Particle Board), PRC (Precast), PFM (Prefinished Metal), PL (Property Line), PLAM (Plastic Laminate), PLAS (Plastic, Plaster), PLYVD (Plywood), PR (Prepare), PRT (Paint, Point, Pressure Treated), PVC (Polyvinyl Chloride), QTY (Quantity), QT (Quarry Tile), R (Radius), RB (Resilient Base), RCP (Reflected Ceiling Plan), RD (Roof Drain), RE (Refer to), REFR (Refrigerator), REINF (Reinforcing), REQ (Requirements), REV (Revision), RF (Resilient Flooring), RFG (Recessed Foot Grille), RISER (Riser), RM (Room), RO (Rough Opening), S (South), SAF (Self-Adhered Flashing), SC (Solid Core), SCHED (Schedule), SECT (Section), SF (Square Feet), SHR (Shower), SIM (Similar), SLO (Slope), SPEC (Specification), SPF (Spray Polyurethane Foam), SQ (Square), SSTL (Stainless Steel), ST (Stain, Street), STC (Sound Transmission Class), STD (Standard), STL (Steel), STO (Storage), STRUC (Structural), SUSP (Suspended), T (Tempered), T & B (Top and Bottom), T & G (Tongue and Groove), TBD (To Be Determined), THK (Thickness), TO (Top of), TPD (Toilet Paper Dispenser), TR (Treads), TRM (Toilet Room), TS (Tube Steel), TYP (Typical), UL (Underwriters Laboratory), UNF (Unfinished), UNO (Unless Noted Otherwise), UTIL (Utilities), V (Vinyl), VB (Vapor Barrier), VCT (Vinyl Composition Tile), VERT (Vertical), VFI (Verify in Field), VOC (Volatile Organic Compound), VR (Vapor Retarder), VTR (Vent-Thru Roof), W (West), WC (Water Closet), WDC (Wallcovering), WH (Window), WH (Water Heater), WR (Walk-in Refrigerator), WRF (Walk-in Freezer), W (With), W (Within), W (Without), WRB (Water Resistive Barrier), WD (Wood), WT (Weight), XPS (Extruded Polystyrene Board), YD (Yard), YR (Year), & (And), ANGLE (Angle), @ (At), X BY (Multiply), CL (Centerline), ° (Degree), Ø (Diameter), / (Divide), PER (Per), > (Greater Than), ≥ (Greater Than or Equal To), \* (Inches), < (Less Than), ≤ (Less Than or Equal To), # (Number), POUND (Pound), % (Percent), ⊥ (Perpendicular), ± (Approximately), PLUS OR MINUS (Plus or Minus)

NOTE: ABBREVIATIONS ARE BASED ON THE CONSTRUCTION SPECIFICATIONS INSTITUTE'S UNIFORM DRAWING SYSTEM "TERMS AND ABBREVIATIONS" MODULE. CLARIFY ANY ABBREVIATIONS NOT LISTED WITH ARCHITECT.



- 4. All hard & soft floor surfaces are to be cleaned to Mfr.'s specs.
- 5. All common areas outside the scope of work used as storage or travel routes to and from the project are to be returned to their original condition at the commencement of work.
- 6. The final and complete installation of all specified items shall be complete prior to final acceptance of the project. The Contractor shall furnish the Owner w/ all warranties, guarantees and manuals pertaining to installed systems.

**SITework**

- A. Soils Report: Provided by Owner for required foundation design by licensed engineer.
- B. Utilities: Contractor shall coordinate all site utility demolition, design, installation and services.
- C. Driveway: Protect existing driveway and all other site areas from damage due to construction equipment or materials.

**THERMAL & MOISTURE PROTECTION**

- A. Roofing:
  - General: The contractor shall be responsible for verifying the existing and forecasted weather conditions to determine when the conditions are acceptable for roof work. Roof application shall not proceed when there is moisture present in any form on the deck including but not limited to rain, dew, ice, frost or snow.
  - 1. Examine plywood deck to ensure proper attachment to framing. Inspect roof deck to verify deck is clean and smooth, free of depressions, waves or projections, level to +/- 1/4" in 20', and properly sloped to valleys or eaves. Areas of the substrate where ponding water occurs shall be built up prior to the installation of the roof system.
  - 2. Roofing system to carry a minimum 15 year warranty.
  - 3. Preservatives or fire retardants used to treat decking must be compatible with roofing materials. If not, supply an appropriate decking cover.
  - 4. Verify roof openings, curbs, pipes, sleeves, ducts or vents through roof are solidly set, cant strips and reglets in place, and nailing strips located.
  - 5. All openings in the deck or projections through the deck shall be completed before starting the application of the roof system. Outlets must be placed and installed to remove water promptly and completely from the roof. Expansion joints, roof vents, roof drains, etc., must be installed using acceptable industry standards.
    - A. Composition shingles: Applied to solid sheathing, Match existing. Install per manufacturer's installation specifications.
- B. Fire stopping: Provide fire stopping to cut off draft chutes in following areas: at all wall & furred wall plates and sills and midway on walls over 8'-0" in height; between stair stringers at top and bottom; around tops, bottoms and sides of pocket door pockets; In gaps between wood framing and chimneys, use noncombustible fill materials or snug metal collars nailed to adjacent framing; in penetrations (i.e., pipes & ducts), loose fill material may be used.
- C. Roof underlayment: 1 layer 30-lb. tar impregnated roofing felt though out. Provide metal valley pans as required by IWUIC.
- D. Flashing: All flashing, counter flashing and other sheet metal shall be sized as recommended by SMACNA and installed as recommended in the Architectural Sheet Metal Manual be SMACNA. Install copper or baked-on finish aluminum, all flashiness to be of similar metal and color. Install cont. flashing at bottom of exterior wall treatment and extend up onto exterior sheathing. Membrane roofs: consult manufacturers' specifications for exact flashing and counter-flashing systems.
- E. Gutter & Downspouts: As specified on elevations and sections. Drip edges, gutters and their downspouts to be of similar non-corrosive metal. Slope gutters to outlets at not less than 1" per 20'-0". Drip edge to flash into gutter. Downspouts to drain into day-lighted french tile, drywell or splash blocks that ensure water drainage is shed a minimum of five feet from foundation of building. Downspout extensions are not acceptable.
- F. Caulking and sealant: Butyl or Polyurethane at hard to replace direct weather-exposed areas (i.e. foundation sills) Paintable 30-year latex around exterior trim to match surrounding materials, color. Verify Caulk and surrounding materials are compatible.

**GENERAL CONDITIONS**

- The following specifications and drawings shall be in accordance w/ and conform to any and all applicable local, state and national codes (whichever are the strictest) that are adopted and enforceable at the time of construction and building permit issue.
- A. General: Release of these plans requires further coordination among the Owner, Contractor and any contracted Consultants. These construction documents in whole or part are not intended to be used beyond this project or beyond the immediate use of the project's client.
  - B. Drawings & Specifications: The purpose of the Drawings is to depict graphically the general nature of the work. The contractor and all subcontractors shall review these specifications and drawings and be well versed in these documents prior to commencement of construction. The Contractor shall be responsible for the distribution of adequate, current and complete documents & change orders to the sub-contractors working under him. At the completion of construction, the Contractor shall submit to the Owner a complete set of drawings indicating the "as-built" conditions including any changes, omissions or modifications.
  - C. Drawing Information: Do not scale the drawings. All notes and noted dimensions take precedence over visual representations or assumed information shown. All Manufacturers' printed warnings, specifications and installation instructions take precedence over construction drawings unless an exception is noted. Manufacturer's operating recommendations shall be strictly observed.
    - 1. Walls are dimensioned from framing to framing unless noted otherwise.
    - 2. Doorframes not dimensioned are to be placed 4.5" from adjacent walls or centered along the wall length.
    - 3. All vertical dimensions are denoted from top of slab or top of subfloor unless noted otherwise.
    - 4. Coordinate window head heights with plans & elevations.
  - D. Shop Drawings: The Contractor shall be responsible for acquiring & coordinating all necessary shop drawings & manufacturer's specifications & proper use instructions prior to construction.
  - E. Existing Site Conditions: The Contractor is to locate and mark all existing above ground and underground utilities before construction begins and to notify the Owner if dangerous conflicts may exist. The Contractor and subcontractors are to field verify all existing site conditions and are responsible for reporting any discrepancies of the assumed conditions to the Owner before commencing work.
  - F. Performance: The Contractor is solely responsible for all construction means, methods, techniques, sequences and procedures utilized in connection with the "work" described in these drawings. All trades must perform their work in strict accordance with the professional standards adapted by their industry and any and all applicable and adapted local, state and national building codes. The Contractor shall be responsible for coordinating and supervising his sub-contractors and the local jurisdiction's inspections to achieve the highest quality project in compliance with all applicable codes.
  - G. Safety & Security: The Contractor shall be responsible for securing and controlling access to the job site and the safety of persons on the jobsite during construction process.
  - H. Materials: Unless otherwise specified, all materials shall be new and in compliance with the specifications set forth in these documents. All similar materials shall be of the same manufacturer and quality to ensure consistency. Materials and assemblies required to be fire resistive shall bear a manufacturers label indicating rating, testing agency and test certification number.
  - I. Fees & Permits: The Contractor shall be responsible for obtaining all required building permits & licenses mandated by local & national jurisdictions for the construction set forth in these documents. The Contractor shall incur the costs of said required permits.
  - J. Protection & Damages: The Contractor shall maintain sufficient insurance to provide adequate protection from claims under workman's compensation, personal injury or death, or property damage which may arise from operations conducted under the auspices of these documents. The Contractor is charged with creating and maintaining a safe working environment. The Contractor shall protect himself and workers under his supervision; the work upon completion; adjacent space/property; common areas; public utilities and the general public from site related harm. In case of injury or damage due to neglect, the Contractor shall bear responsibility. All local & national safety regulations shall be adhered to. All work is to be performed from recognizably safe work areas.
  - K. Hazardous Materials: The Contractor shall be responsible for inspecting and reporting the existence of hazardous materials (i.e. asbestos, toxic gases, etc.) to the Owner for proper abatement.
  - L. Warranties: General Contractor to provide minimum 1 year product and workmanship warranty for project.
  - M. Project Completion: The General Contractor and the Sub-contractors shall turn the project over to the Owner w/ all specified systems installed and the following conditions met before the project and the Contractor's responsibilities are considered complete:
    - 1. Free from all construction debris, scrapes, material & equipment.
    - 2. All glass shall be free of all Mfr. tags and cleaned on both sides.
    - 3. All millwork, doors, wall materials, painted surfaces, etc. are to be wiped down and free of dirt or other foreign matter.

THE DRAWINGS ILLUSTRATE THE HOME AS A TOWNHOUSE UNIT, TO BE BUILT IN A SERIES OF ATTACHED HOMES, BUT ALSO CONTAINS THE INFORMATION NEEDED TO CONSTRUCT IT AS A SINGLE-FAMILY HOUSE. WHEN BUILT AS A TOWNHOUSE, THE WALL BETWEEN UNITS IS A 2-HOUR FIRE RATED COMMON WALL; WHEN BUILT AS A HOUSE, THE LEFT AND RIGHT END WALLS ARE CONSTRUCTED INSTEAD.

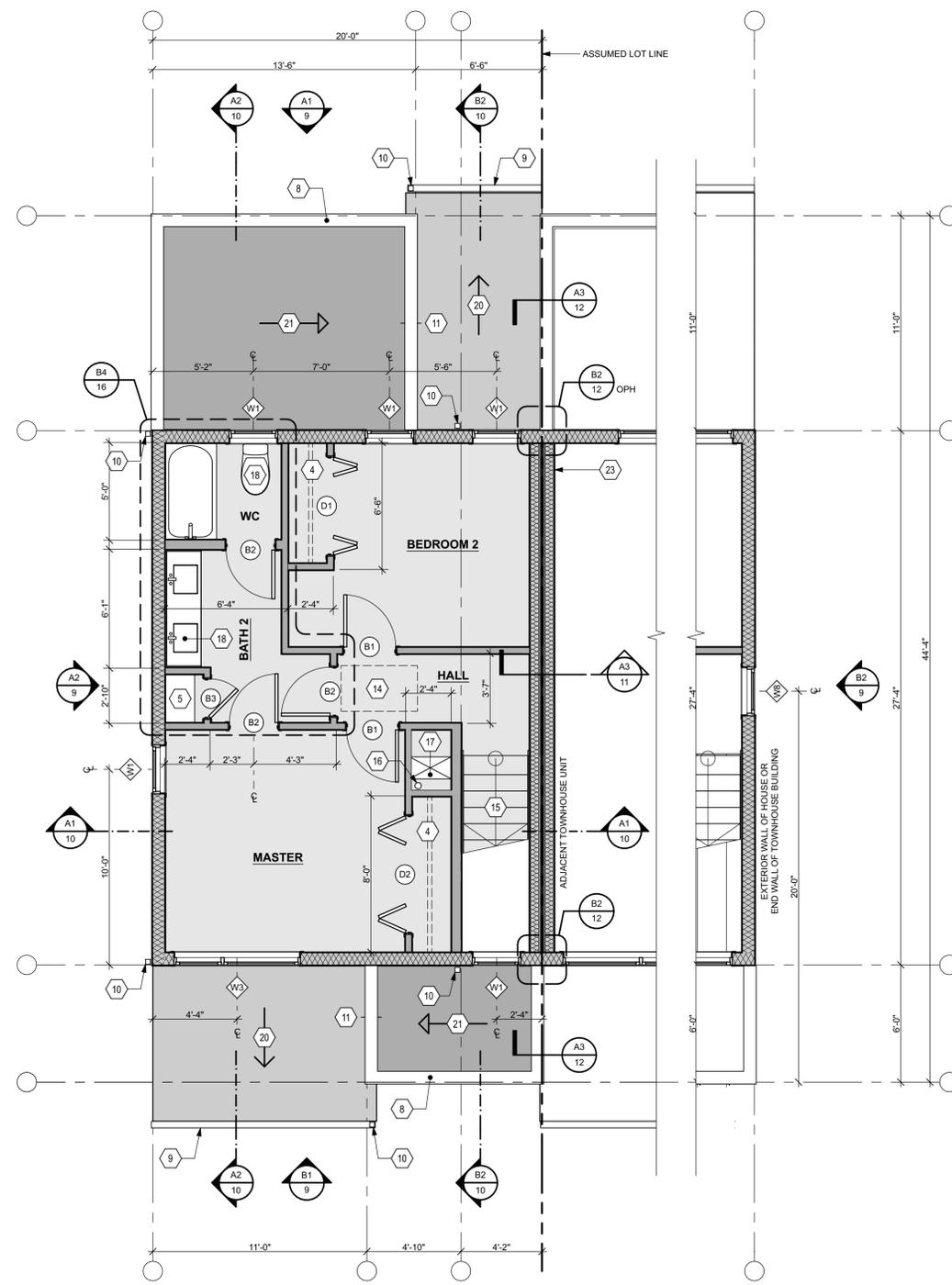
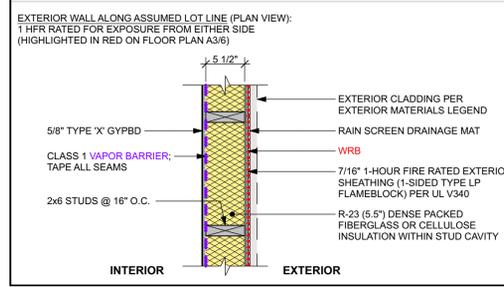
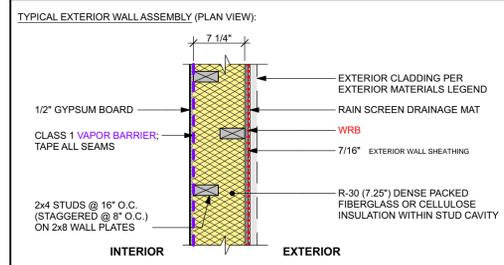
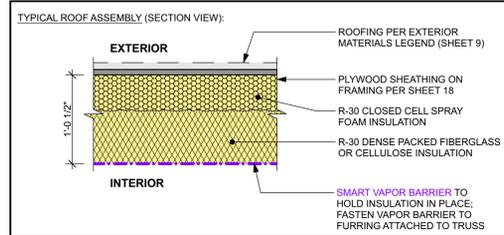
**FLOOR PLAN NOTES**

- DIMENSIONS ARE TO GRID LINES AND TO THE FACE OF STUDS, MASONRY, AND CONCRETE OF NEW WALLS AND FINISHED FACE OF EXISTING WALLS UNLESS OTHERWISE NOTED. MASONRY DIMENSIONS ARE NOMINAL. DIMENSIONS NOTED "CLR" ARE FROM FINISH FACE TO FINISH FACE.
- OPENINGS WITHIN STUD CONSTRUCTION ARE DIMENSIONED TO THEIR CENTERLINE.
- DOOR OPENINGS WITHIN STUD PARTITIONS SHALL BE LOCATED WITH THE HINGE SIDE 4 1/2" FROM FACE OF STUD OF THE ADJACENT PARTITION, UNLESS NOTED OTHERWISE.
- REFER TO THE ASSEMBLY LEGEND (BELOW) FOR TYPICAL EXTERIOR ASSEMBLIES.
- ALL INTERIOR PARTITIONS SHALL BE 1/2" GYPSUM BOARD BOTH SIDES OF 2x4 WOOD FRAMING, UNLESS NOTED OTHERWISE.
- PROVIDE WATER RESISTANT GYPSUM BOARD IN ALL AREAS EXPOSED TO MODERATE AMOUNTS OF MOISTURE SUCH AS BATHROOMS AND KITCHENS.
- PROVIDE CEMENTITIOUS BACKER BOARD BEHIND CERAMIC TILE AT ALL WET AREAS SUCH AS SHOWERS.
- PROVIDE BLOCKING AS REQUIRED FOR WALL-MOUNTED EQUIPMENT AND CASEWORK.
- PROVIDE METAL CORNER BEAD ON ALL EXPOSED CORNERS & EDGES.
- REFER TO SHEET 14 FOR SPECIFIED APPLIANCES, PLUMBING FIXTURES, CABINETS AND COUNTERTOPS.
- REFER TO FINISH SCHEDULE AND FINISH PLAN (SHEET 8) FOR SPECIFIED FINISHES, CEILING TREATMENT, AND SOFFIT MATERIALS.
- REFER TO SHEET 14 FOR DOOR AND WINDOW TYPES.

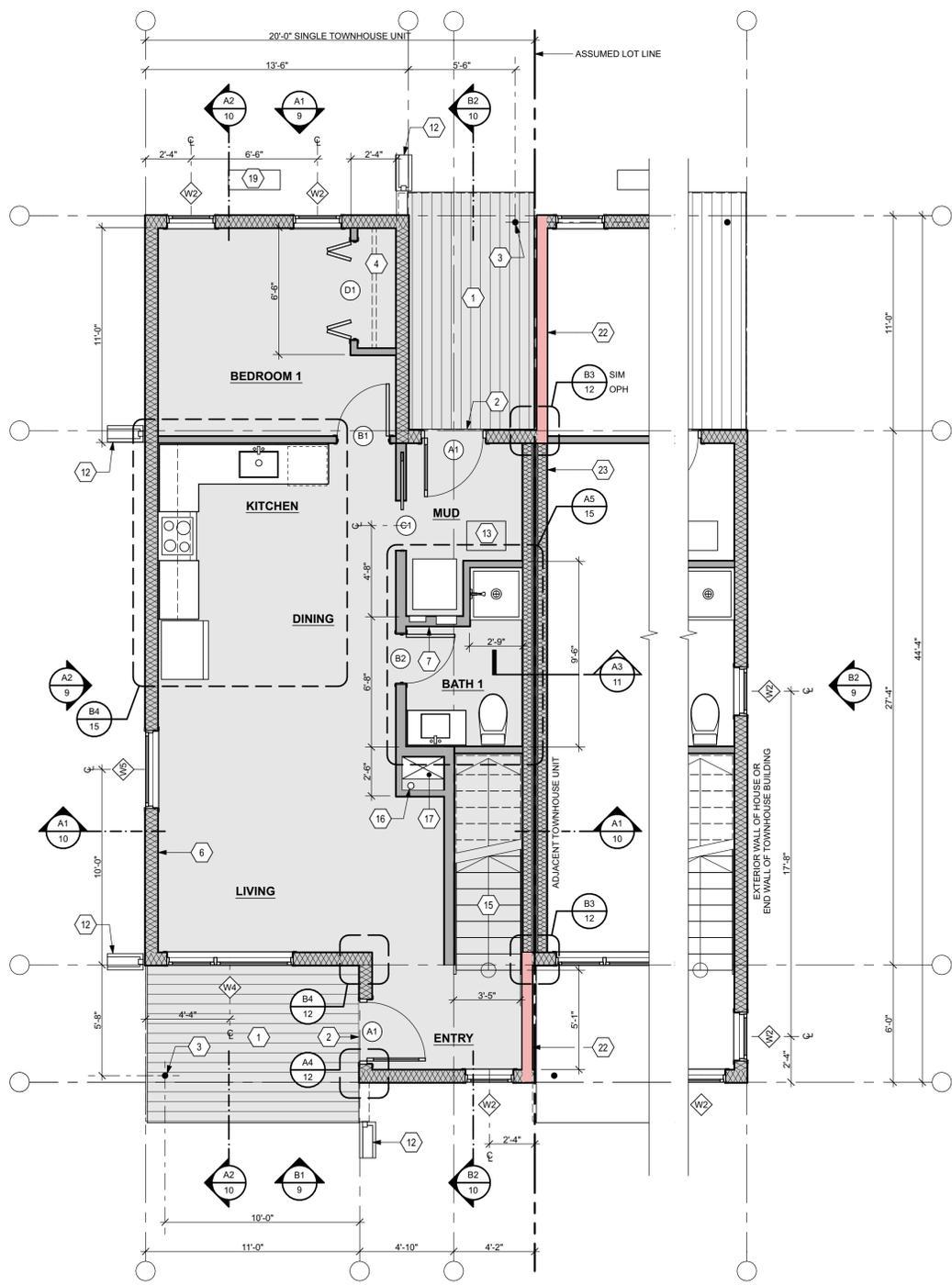
**FLOOR AND ROOF PLAN KEYNOTES**

- DECKING MATERIAL SHALL BE EITHER NON-COMBUSTIBLE OR IGNITION-RESISTANT (MEETING THE REQUIREMENTS OF IWUIC (2021) 503.2) PER IWUIC 505.7.
- STEP AT DOOR, 7 3/4" MAXIMUM AND 4" MINIMUM RISER HEIGHT
- 3" DIAMETER STEEL PIPE COLUMN; RE: FRAMING PLANS SHEET 18
- CLOSET ROD AND SHELF
- 5) 1'-6" DEEP MDF SHELVES (PAINTED) @ 12" OC VERTICAL
- PROVIDE BLOCKING FOR A TV MOUNT (OPTIONAL)
- 2x6 STUD FRAMED WALL
- PRE-FINISHED METAL COPING AT TOP OF PARAPET WALL
- PRE-FINISHED METAL GUTTER; MUST BE NON-COMBUSTIBLE PER IWUIC (2021) 505.4.
- PRE-FINISHED METAL DOWNSPOUT; MUST BE NON-COMBUSTIBLE PER IWUIC (2021) 505.4.
- THROUGH-WALL SCUPPER; RE: D2/13
- SPLASH BLOCK @ DOWNSPOUT. SLOPE DISCHARGE AWAY FROM BUILDING AT 1" : 12" MINIMUM.
- CRAWL SPACE ACCESS FLOOR HATCH (18" x 24" MINIMUM)
- ATTIC ACCESS ABOVE (30" WIDE MINIMUM) WITH PULL-DOWN LADDER
- PROVIDE HANDRAIL ON NOT LESS THAN ONE SIDE OF STAIR
- RADON MITIGATION RISER. PROVIDE OUTLET FOR AN INLINE FAN IN THE ATTIC; RE: A1/11
- MECHANICAL CHASE
- PLUMBING FIXTURE AT EXTERIOR WALL; STUB PLUMBING THROUGH FLOOR INSTEAD OF EXTERIOR WALL. TYPICAL, ALL PLUMBING FIXTURES AT EXTERIOR WALLS.
- HEAT PUMP MOUNTED ON A PLATFORM OR WALL MOUNTED AT LEAST 24" ABOVE FINISHED GRADE. SEE MECHANICAL DRAWINGS.
- MEMBRANE ROOFING PER EXTERIOR MATERIAL LEGEND ON CANOPY FRAMING SLOPED TO DRAIN 1/4" : 12" MINIMUM
- MEMBRANE ROOFING PER EXTERIOR MATERIAL LEGEND ON 1/2" GYPSUM COVER BOARD AND RIGID INSULATION SLOPED TO DRAIN 1/4" : 12" MINIMUM
- 5/8" GYPBD THIS WALL; EXTERIOR WALLS ALONG ASSUMED LOT LINE MUST BE 1 HFR RATED FOR EXPOSURE FROM BOTH SIDES (UL V340); RE: ASSEMBLY LEGEND
- 2-HFR RATED COMMON WALL BETWEEN TOWNHOUSE UNITS CENTERED ON ASSUMED LOT LINE; RE: A3/11

**ASSEMBLY LEGEND**



**A1 CONSTRUCTION PLAN: SECOND LEVEL**  
SCALE: 1/4" = 1'-0"



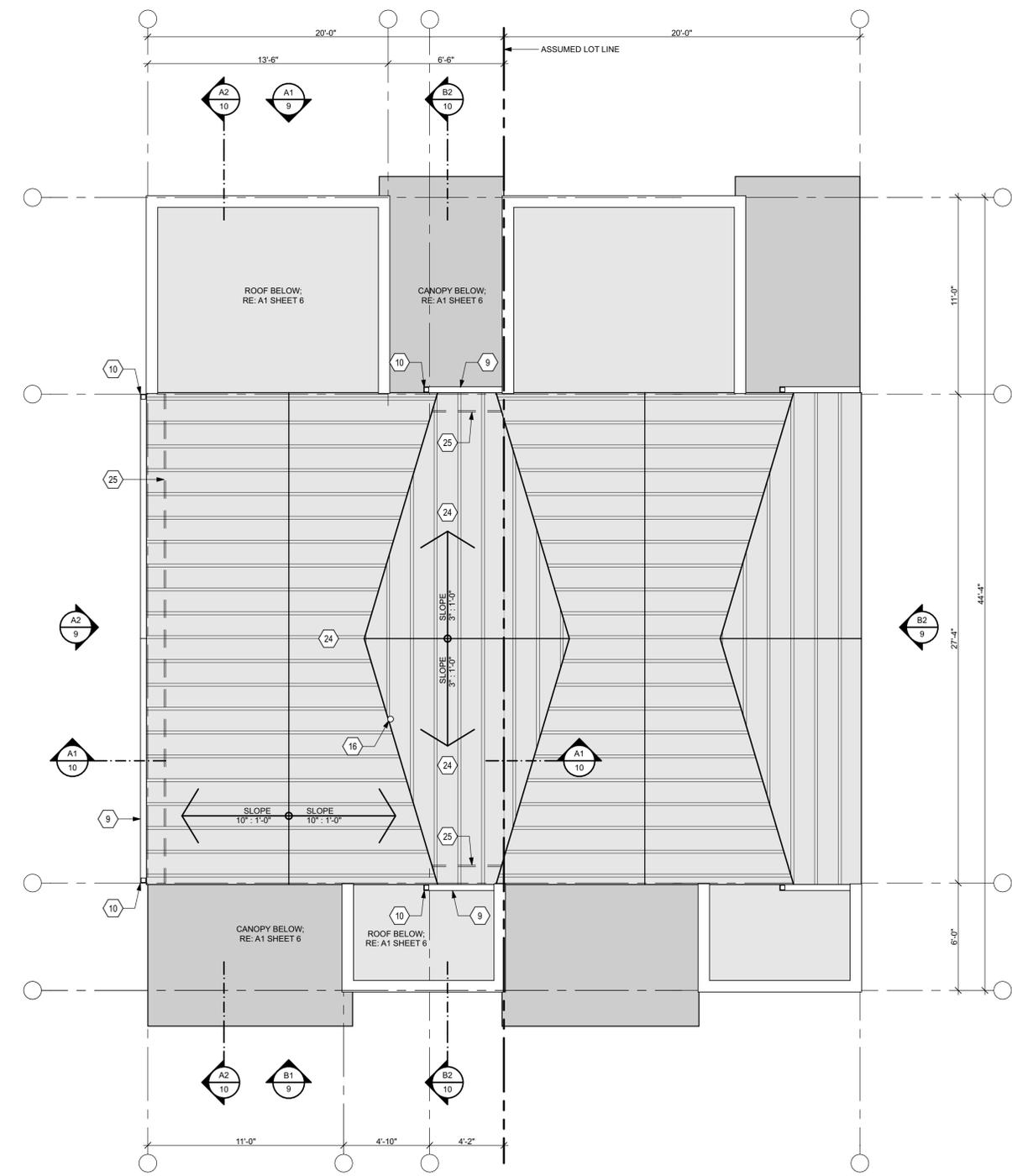
**A3 CONSTRUCTION PLAN: FIRST LEVEL**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

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4. REFER TO THE ASSEMBLY LEGEND (BELOW) FOR TYPICAL EXTERIOR ASSEMBLIES.
5. ALL INTERIOR PARTITIONS SHALL BE 1/2" GYPSUM BOARD BOTH SIDES OF 2x4 WOOD FRAMING, UNLESS NOTED OTHERWISE.
6. PROVIDE WATER RESISTANT GYPSUM BOARD IN ALL AREAS EXPOSED TO MODERATE AMOUNTS OF MOISTURE SUCH AS BATHROOMS AND KITCHENS.
7. PROVIDE CEMENTITIOUS BACKER BOARD BEHIND CERAMIC TILE AT ALL WET AREAS SUCH AS SHOWERS.
8. PROVIDE BLOCKING AS REQUIRED FOR WALL-MOUNTED EQUIPMENT AND CASEWORK.
9. PROVIDE METAL CORNER BEAD ON ALL EXPOSED CORNERS & EDGES.
10. REFER TO SHEET 14 FOR SPECIFIED APPLIANCES, PLUMBING FIXTURES, CABINETS AND COUNTERTOPS.
11. REFER TO FINISH SCHEDULE AND FINISH PLAN (SHEET 8) FOR SPECIFIED FINISHES, CEILING TREATMENT, AND SOFFIT MATERIALS.
12. REFER TO SHEET 14 FOR DOOR AND WINDOW TYPES.

**FLOOR AND ROOF PLAN KEYNOTES**

- 1 DECKING MATERIAL SHALL BE EITHER NON-COMBUSTIBLE OR IGNITION-RESISTANT (MEETING THE REQUIREMENTS OF IWUIC (2021) 503.2) PER IWUIC 505.7.
- 2 STEP AT DOOR, 7 3/4" MAXIMUM AND 4" MINIMUM RISER HEIGHT
- 3 3" DIAMETER STEEL PIPE COLUMN; RE: FRAMING PLANS SHEET 18
- 4 CLOSET ROD AND SHELF
- 5 5) 1'-6" DEEP MDF SHELVES (PAINTED) @ 12" OC VERTICAL
- 6 PROVIDE BLOCKING FOR A TV MOUNT (OPTIONAL)
- 7 2x6 STUD FRAMED WALL
- 8 PRE-FINISHED METAL COPING AT TOP OF PARAPET WALL
- 9 PRE-FINISHED METAL GUTTER; MUST BE NON-COMBUSTIBLE PER IWUIC (2021) 505.4.
- 10 PRE-FINISHED METAL DOWNSPOUT; MUST BE NON-COMBUSTIBLE PER IWUIC (2021) 505.4.
- 11 THROUGH-WALL SCUPPER; RE: D2/13
- 12 SPLASH BLOCK @ DOWNSPOUT. SLOPE DISCHARGE AWAY FROM BUILDING AT 1" : 12" MINIMUM.
- 13 CRAWL SPACE ACCESS FLOOR HATCH (18" x 24" MINIMUM)
- 14 ATTIC ACCESS ABOVE (30" WIDE MINIMUM) WITH PULL-DOWN LADDER
- 15 PROVIDE HANDRAIL ON NOT LESS THAN ONE SIDE OF STAIR
- 16 RADON MITIGATION RISER. PROVIDE OUTLET FOR AN INLINE FAN IN THE ATTIC; RE: A1/11
- 17 MECHANICAL CHASE
- 18 PLUMBING FIXTURE AT EXTERIOR WALL; STUB PLUMBING THROUGH FLOOR INSTEAD OF EXTERIOR WALL. TYPICAL. ALL PLUMBING FIXTURES AT EXTERIOR WALLS.
- 19 HEAT PUMP MOUNTED ON A PLATFORM OR WALL MOUNTED AT LEAST 24" ABOVE FINISHED GRADE. SEE MECHANICAL DRAWINGS.
- 20 MEMBRANE ROOFING PER EXTERIOR MATERIAL LEGEND ON CANOPY FRAMING SLOPED TO DRAIN 1/4" : 12" MINIMUM
- 21 MEMBRANE ROOFING PER EXTERIOR MATERIAL LEGEND ON 1/2" GYPSUM COVER BOARD AND RIGID INSULATION SLOPED TO DRAIN 1/4" : 12" MINIMUM
- 22 5/8" GYPBD THIS WALL; EXTERIOR WALLS ALONG ASSUMED LOT LINE MUST BE 1 HFR RATED FOR EXPOSURE FROM BOTH SIDES (UL V340); RE: ASSEMBLY LEGEND
- 23 2-HFR RATED COMMON WALL BETWEEN TOWNHOUSE UNITS CENTERED ON ASSUMED LOT LINE; RE: A3/11
- 24 ROOFING PER EXTERIOR MATERIAL LEGEND ON ATTIC TRUSSES PITCHED PER PLAN
- 25 SNOW GUARD



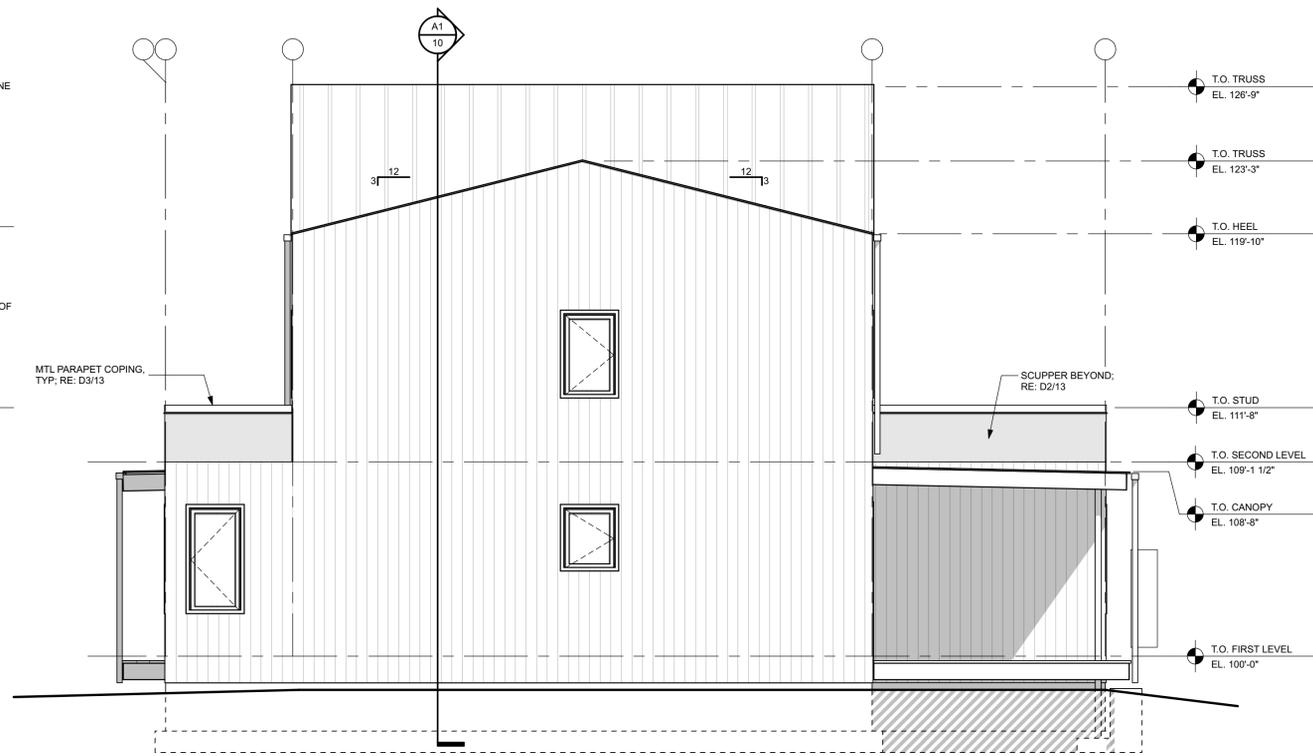
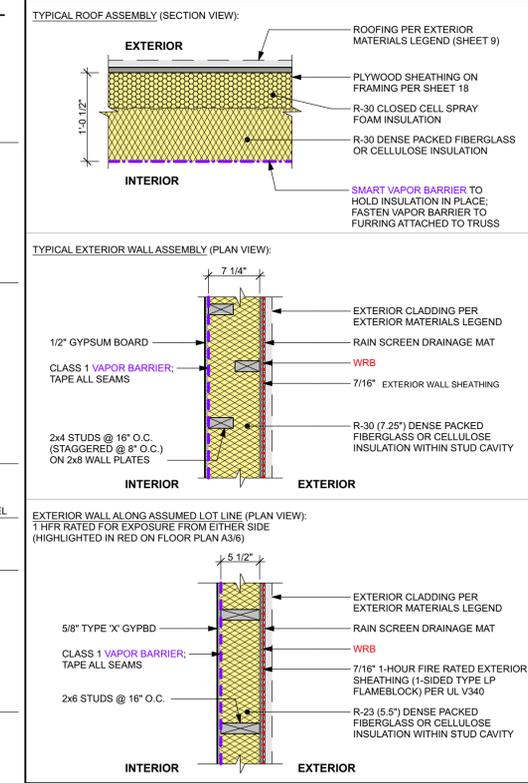
**A2 COMPOSITE ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**EXTERIOR MATERIAL SCHEDULE**

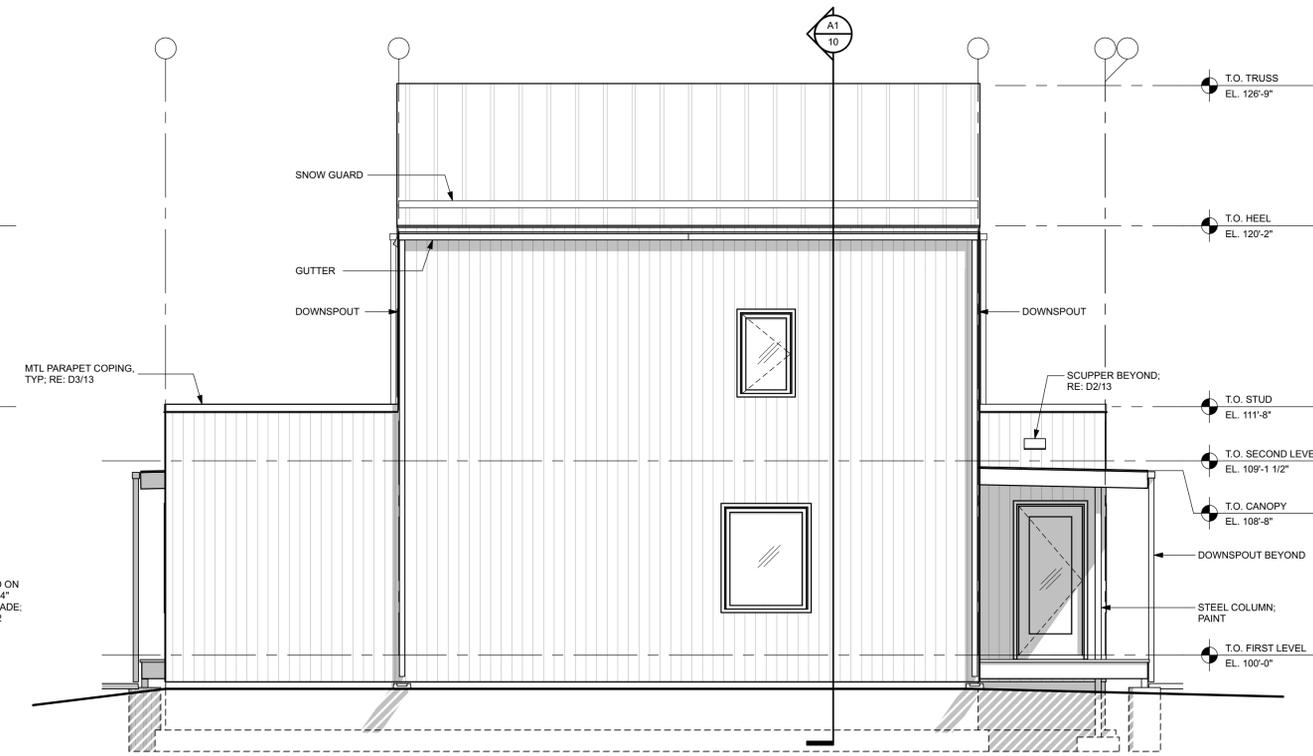
OWNER: IN EACH MATERIAL SECTION BELOW, PLEASE CHECK THE ORANGE BOX TO INDICATE THE SELECTED MATERIAL. IN THE CASE OF "OTHER," PLEASE ADDITIONALLY WRITE THE SELECTED MATERIAL ON THE LINE PROVIDED.

ROOFING	ASSEMBLY
<input type="checkbox"/> ASPHALT SHINGLES OVER 2 LAYERS OF UNDERLAYMENT/ICE AND WATER SHIELD * ASPHALT SHINGLES SHALL COMPLY WITH ASTM D3462 *	APPLIED OVER ROOF SHEATHING AND FRAMING PER SHEET 18
<input type="checkbox"/> STANDING SEAM METAL ROOFING OVER UNDERLAYMENT/ICE AND WATER SHIELD PER MANUFACTURER'S REQUIREMENTS	APPLIED OVER ROOF SHEATHING AND FRAMING PER SHEET 18
<b>MEMBRANE ROOFING</b>	FLAT ROOFS: ADHERED TO 1/2" GYPSUM COVER BOARD ON RIGID INSULATION SLOPED TO DRAIN ON ROOF SHEATHING AND FRAMING PER SHEET 18 CANOPIES: ADHERED TO ROOF SHEATHING ON FRAMING PER SHEET 18
<input type="checkbox"/> PDM	
<input type="checkbox"/> TPO	
<input type="checkbox"/> PVC	
<input type="checkbox"/> <b>OTHER:</b> ALL ROOF COVERINGS SHALL BE CLASS A MIN <sup>1</sup>	
SIDING	ASSEMBLY
<input type="checkbox"/> MINERAL FIBER CEMENT BOARD: BOARD & BATTEN	APPLIED DIRECTLY OVER RAINSCREEN DRAINAGE MESH; RE: ASSEMBLY LEGEND.
<input type="checkbox"/> MINERAL FIBER CEMENT BOARD: LAPPED SIDING	APPLIED DIRECTLY OVER RAINSCREEN DRAINAGE MESH; RE: ASSEMBLY LEGEND.
<input type="checkbox"/> METAL PANEL: CORRUGATED INSTALLED HORIZONTALLY OR VERTICALLY	APPLIED DIRECTLY OVER RAINSCREEN DRAINAGE MESH; RE: ASSEMBLY LEGEND.
<input type="checkbox"/> <b>OTHER:</b> EXTERIOR WALL MATERIALS SHALL BE ONE OF THE FOLLOWING: * NON-COMBUSTIBLE, OR * APPROVED FOR NOT LESS THAN 1-HR FIRE RESISTANCE RATED CONSTRUCTION ON THE EXTERIOR SIDE, OR * HEAVY TIMBER, OR * LOG CONSTRUCTION, OR * FIRE-RETARDANT-TREATED WOOD ON THE EXTERIOR SIDE, OR * IGNITION-RESISTANT MATERIALS ON THE EXTERIOR SIDE.	
SOFFITS	ASSEMBLY
<input type="checkbox"/> SOFFIT BOARD (NON-PERFORATED) * MINIMUM SOFFIT MATERIAL THICKNESS: 3/4" <sup>5</sup>	
<input type="checkbox"/> <b>OTHER:</b> * COMBUSTIBLE EAVES, FASCIAS, AND SOFFITS SHALL BE ENCLOSED WITH SOLID MATERIALS <sup>2</sup> * MINIMUM MATERIAL THICKNESS: 3/4" * EXPOSED RAFTER TAILS ARE NOT PERMITTED UNLESS CONSTRUCTED OF HEAVY TIMBER MATERIALS. <sup>3</sup>	
<b>FOOTNOTES</b> <sup>1</sup> : PER IRC (2021) TABLE R905.1.1(2). <sup>2</sup> : PER IBC (2021) 505.2. <sup>3</sup> : PER IBC (2021) 505.5. <sup>4</sup> : PER IRC (2021) R905.2.4. <sup>5</sup> : PER IBC (2021) 505.3.	

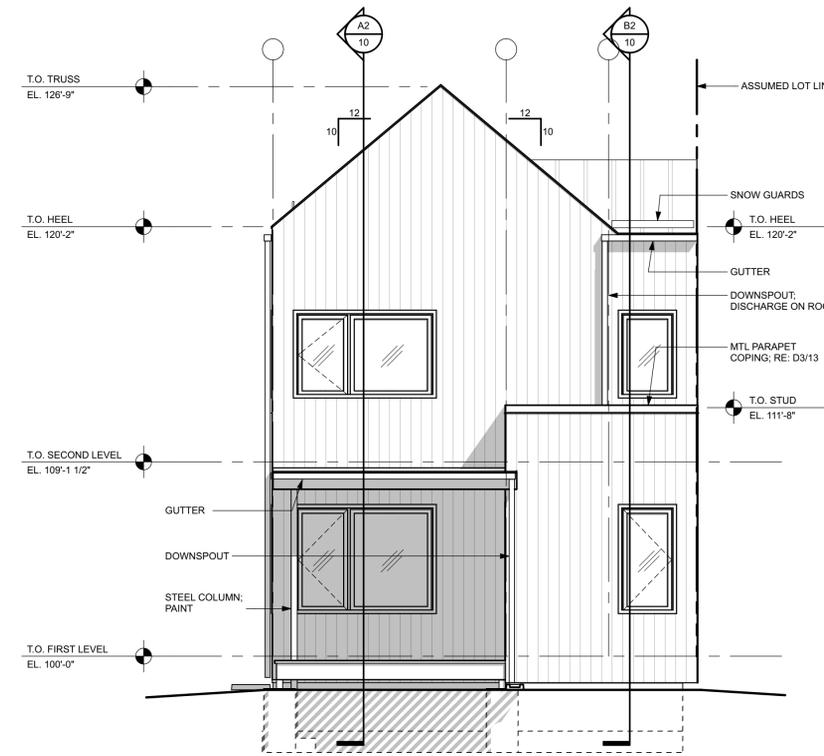
**ASSEMBLY LEGEND**



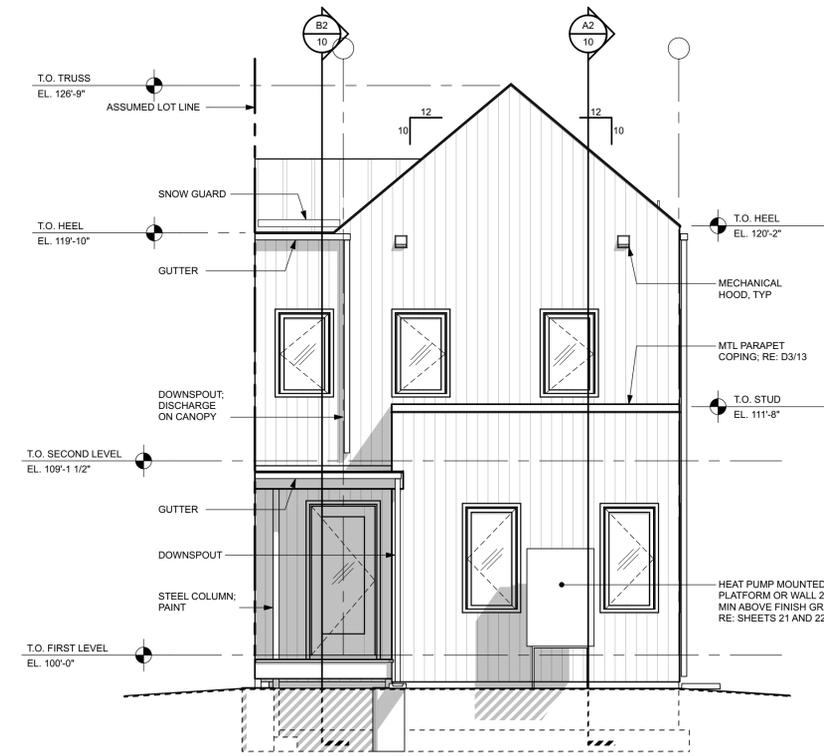
**B2 RIGHT END ELEVATION**  
SCALE: 1/4" = 1'-0"



**A2 LEFT END ELEVATION**  
SCALE: 1/4" = 1'-0"



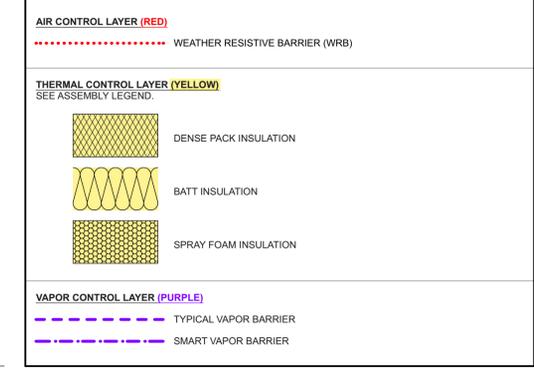
**B1 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



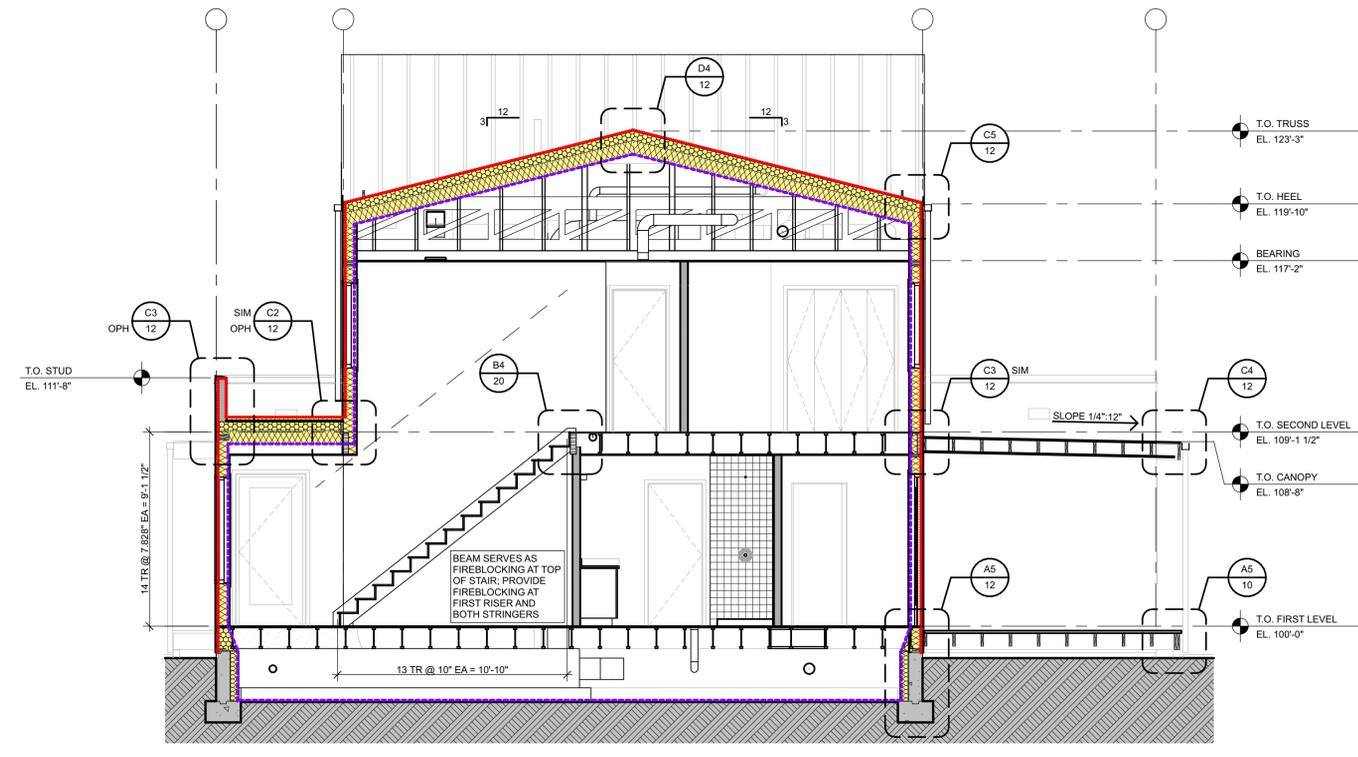
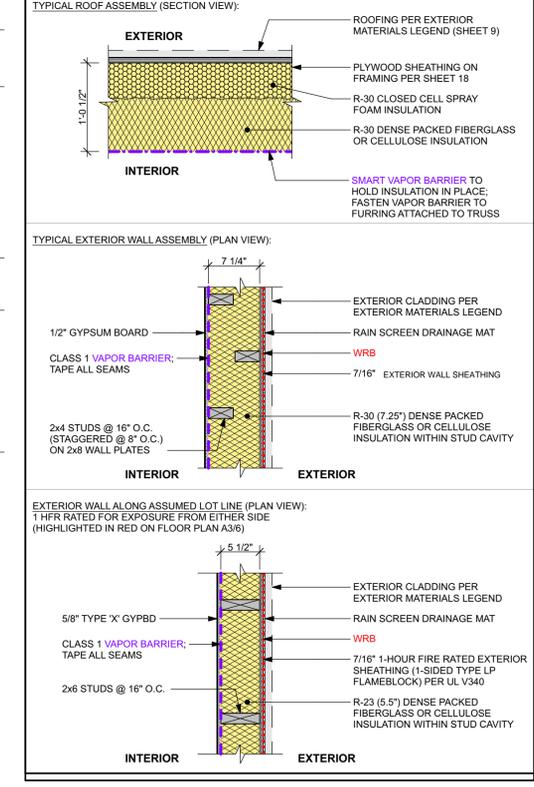
**A1 BACK ELEVATION**  
SCALE: 1/4" = 1'-0"

**NOT FOR CONSTRUCTION**

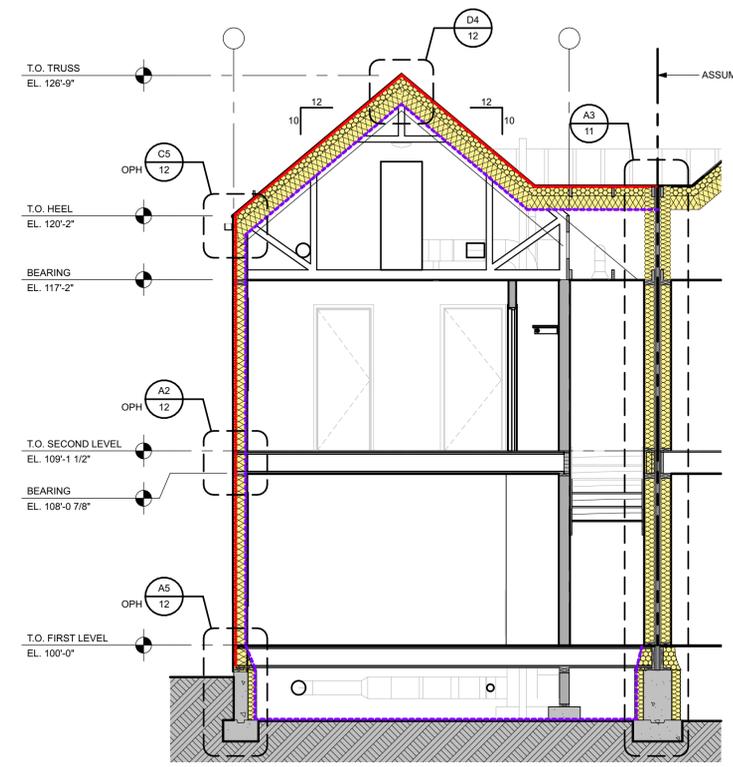
**ENVELOPE SKINS KEY**



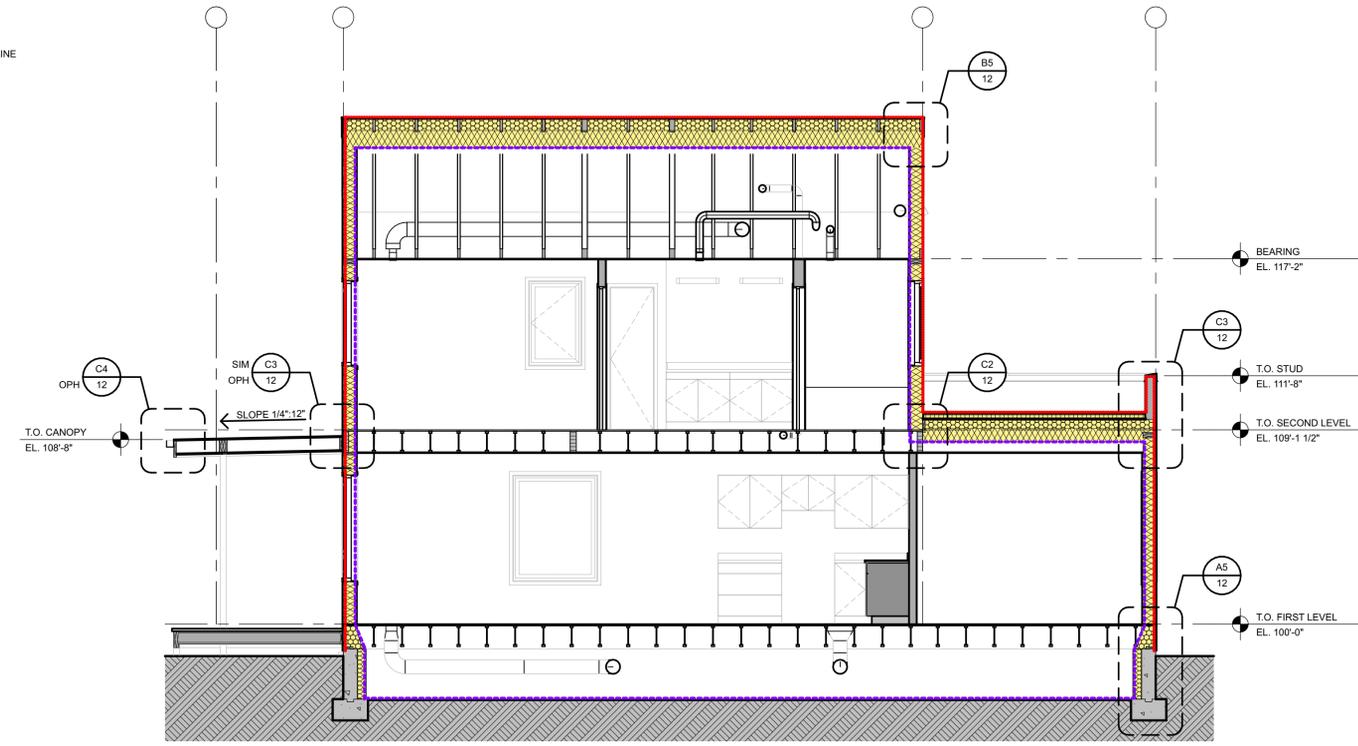
**ASSEMBLY LEGEND**



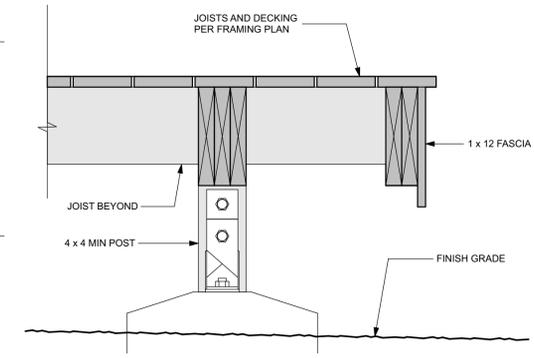
**B2 LONG SECTION 2**  
 SCALE: 1/4" = 1'-0"



**A1 CROSS SECTION**  
 SCALE: 1/4" = 1'-0"

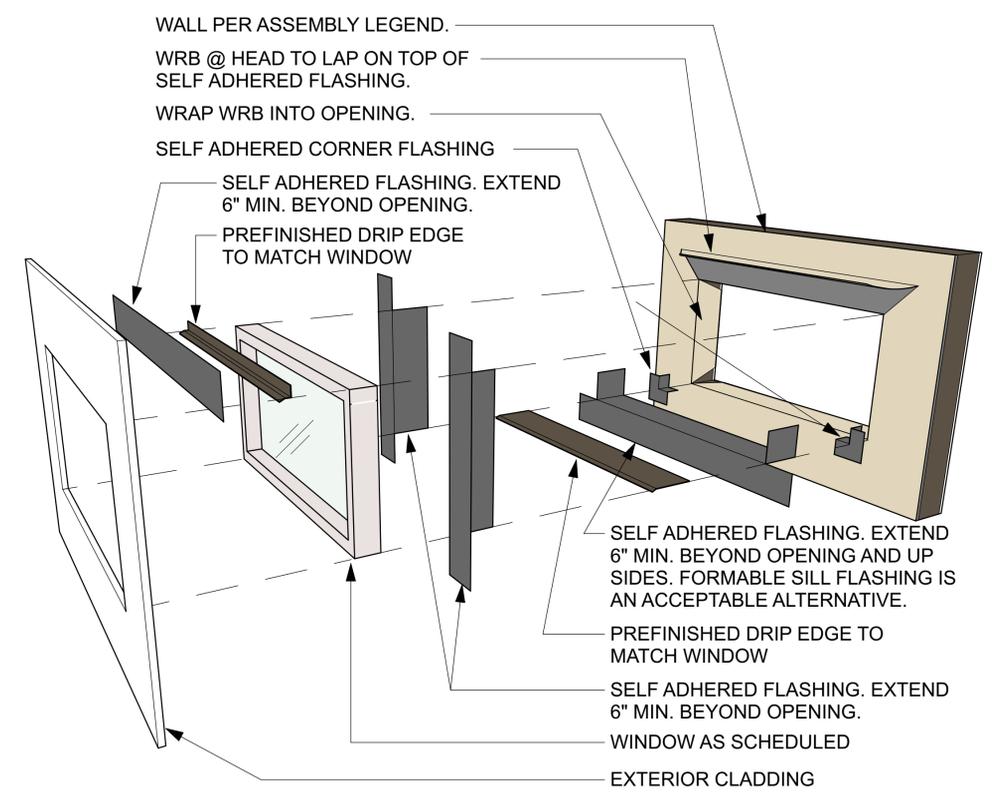


**A2 LONG SECTION 1**  
 SCALE: 1/4" = 1'-0"

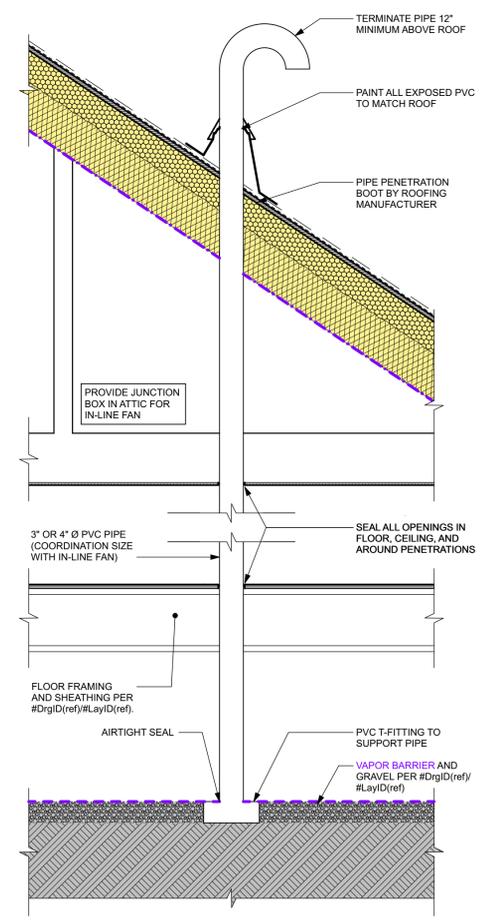


**A5 EDGE OF DECK**  
 SCALE: 1/2" = 1'-0"

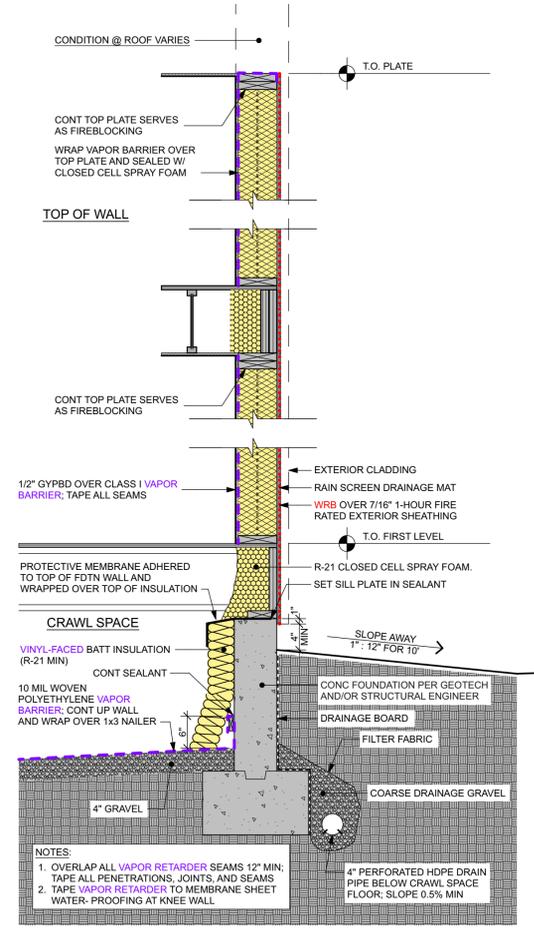
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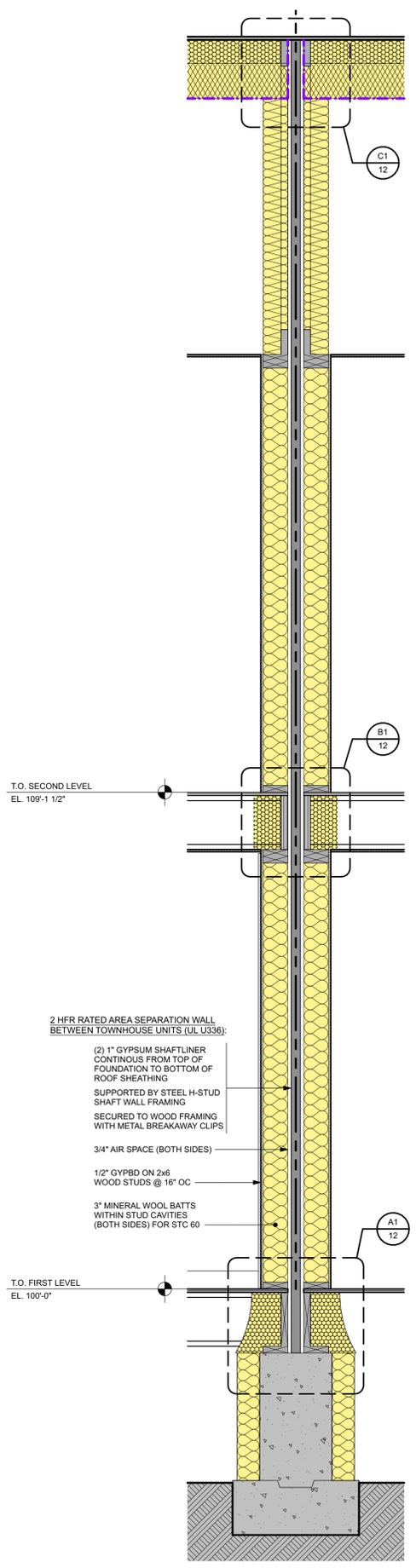
**C1 TYP WINDOW FLASHING**  
NOT TO SCALE



**A1 RADON MITIGATION RISER**  
SCALE: 3/4" = 1'-0"



**A2 TYPICAL EXTERIOR WALL**  
SCALE: 3/4" = 1'-0"



**A3 COMMON WALL**  
SCALE: 3/4" = 1'-0"

**ENVELOPE SKINS KEY**

<b>AIR CONTROL LAYER (RED)</b>	
	WEATHER RESISTIVE BARRIER (WRB)
<b>THERMAL CONTROL LAYER (YELLOW)</b>	
SEE ASSEMBLY LEGEND.	
	DENSE PACK INSULATION
	BATT INSULATION
	SPRAY FOAM INSULATION
<b>VAPOR CONTROL LAYER (PURPLE)</b>	
	TYPICAL VAPOR BARRIER
	SMART VAPOR BARRIER